

PROPOSED ALTERATIONS & ADDITIONS
22 TONGARRA DRIVE, OCEAN SHORES NSW

No.	SHEET	REV.
001	GENERAL NOTES	C
002	SITE PLAN	C
100	EXISTING UPPER GROUND FLOOR PLAN	C
101	EXISTING ROOF PLAN	C
102	EXISTING LOWER GROUND FLOOR PLAN	C
103	PROPOSED LOWER GROUND FLOOR PLAN	C
200	ELEVATIONS	C
201	ELEVATIONS	C
300	SECTION	C
400	DOOR/WINDOW SCHEDULE	C



GENERAL NOTES:

ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, LOCAL COUNCIL REQUIREMENTS, QDC GUIDELINES AND ALL OTHER RELEVANT BY LAWS AND AUTHORITIES. IN PARTICULAR REFER AUSTRALIAN STANDARDS:
SITE PREPERATION AS 3798
CONCRETE CONSTRUCTION AS 2870
TIMBER CONSTRUCTION AND DETAILS AS 1684.2
STEELWORK AS 4100, AS 1111 AND AS 1112
TERMITE PROTECTION BCA AND AS 3660.1
ARTIFICIAL LIGHTING & VENTILATION BCA PARTS 3.8.4/3.8.5 AND A.S 1680
FIRE SAFETY BCA PART 3.7
SMOKE ALARMS BCA PART 3.7.2 AND AS 3786
GLAZING BCA PART 3.6 AND AS 2047

DIMENSIONS:
DO NOT SCALE OFF DRAWINGS - USE FIGURED DIMENSIONS ONLY.

APPROVAL:
NO BUILDING WORK SHALL BE UNDERTAKEN PRIOR TO BUILDING APPROVAL BY A REGISTERED CERTIFIER

CONSULTANTS:
DRAWINGS SHALL BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS AND COMPUTATIONS. ALL STRUCTURE TO ENGINEER'S DESIGN. HYDRAULIC SIZING AND DESIGN TO HYDRAULIC ENGINEER'S REQUIREMENTS. ALL DRAWINGS TO BE CO-ORDINATED WITH CONSULTANT DOCUMENTATION PRIOR TO CONSTRUCTION.

TERMITE PROTECTION:
TERMITE PROTECTION BY MEANS OF TERMIMESH S.S MESH PHYSICAL BARRIER IN ACCORDANCE WITH A.S. 3660.1/2000 AND INSTALLED IN STRICT ACCORDANCE WITH CURRENT MANUFACTURER'S DESIGN & CERTIFICATION.

STRUCTURAL STEEL:
UNLESS NOTED OTHERWISE ALL EXPOSED STRUCTURAL STEEL, ANCHOR BOLTS AND OTHER ATTACHMENTS SHALL BE HOT DIP GALVANISED. A COLD GAL PAINTED FINISH SHALL BE APPLIED TO ANY FIELD WELDING TO EXISTING OR NEW STEELWORK. ALL STEEL WORK CAST IN CONCRETE FOOTINGS OR SLAB SHALL HAVE A BITUMEN FINISH APPLIED TO FULL EXTENT OF CAST IN CONCRETE STEEL. CHECK ALL DIMENSIONS ON SITE PRIOR TO FABRICATION OF STEELWORK.

SLAB & FOOTINGS:
ALL SLABS & FOOTINGS TO STRUCTURAL ENGINEER'S DETAIL. A POLYETHYLENE MOISTURE BARRIER SHALL BE LAPPED 200mm AND FULLY TAPED UNDER ANY HABITABLE CONCRETE SLAB AND SHALL EXTEND 100mm ONTO THE PERIMETER FOOTING.

ARTICULATION JOINTS:
PROVIDE ARTICULATION JOINTS TO COMPLY WITH "Cement and Concrete Association Construction Note TN9"

EROSION CONTROLS:
ALL BUILDING WORKS TO COMPLY WITH LOCAL AUTHORITIES EROSION AND SEDIMENT CONTROL STANDARDS

WATERPROOFING:
ALL WET AREAS AND WALLS TO BE WATERPROOFED IN ACCORDANCE WITH BCA 3.8 & AS 3740. BUILDER TO PROVIDE CERTIFICATE OF INSTALLATION AND COMPLIANCE.

CONCEALMENT OF SERVICES:
ALL SERVICES SHALL BE CONCEALED IN WALLS OR DUCTS. WHERE SERVICES ARE EXPOSED THEY MUST BE CONFIRMED BY THE DESIGNER ON SITE PRIOR TO INSTALLATION UNLESS NOTED OTHERWISE.

LICENSED TRADESPERSONS:
ALL SERVICES TO BE INSTALLED BY LICENSED TRADESPERSONS IN ACCORDANCE WITH LOCAL AUTHORITY AND WITH CURRENT MANUFACTURER'S SPECIFICATIONS.

STAIR AND BALUSTRADES:
ALL STAIR AND BALUSTRADES SHALL COMPLY WITH PART 3.9 OF THE BCA. STEPS TO BE PROVIDED WHERE FALL FROM DWELLING EXCEEDS 190mm
PROVIDE CONTINUOUS HANDRAIL 1000mm MINIMUM HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000mm OR MORE ABOVE GROUND LEVEL. 865mm MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSINGS AND LANDINGS. MAXIMUM OPENINGS BETWEEN BALUSTERS NOT TO EXCEED 125mm AND MAXIMUM GAP TO OPEN TREAD NOT TO EXCEED 125mm

ALL PRODUCTS: TO BE INSTALLED TO MANUFACTURER'S REQUIREMENTS AND TO BE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS FOR SUITABLE EXPOSURE LEVELS.

ROOF DRAINAGE
ALL DOWNPIPES TO BE LOCATED AS NOTED ON THE DRAWINGS AND SIZES AS SCHEDULED. ALLOW TO CONNECT TO IN-GROUND STORM WATER DRAINS WITH 90 DIA UPVC AT 1:100 MINIMUM GRADE. ALLOW FOR 1.0'S AT EACH CHANGE OF DIRECTION AND AT 6000mm CENTRES

SITE DISCHARGE: ALL STORM WATER AND SANITARY PLUMBING TO BE CONNECTED TO EXISTING COUNCIL SYSTEM IN ACCORDANCE WITH THE RELEVANT LOCAL AUTHORITY.

WATER LINES: ALL HOT WATER LINES SHALL BE FULLY INSULATED. ALL DOMESTIC HOT WATER BASINS, SHOWERS, AND BATHS TO HAVE MAXIMUM TEMPERATURE OF 50°C. ALLOW TO SUPPLY AND INSTALL TEMPERING VALVES WHERE REQUIRED, AS NOMINATED IN THE BCA AND RELEVANT STANDARDS

SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES. OWNER AND BUILDER TO ENSURE THIS DOES NOT OCCUR.

FOR BUILDINGS IN CLOSE PROXIMITY TO THE COASTAL ENVIRONMENTS ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES AND STEEL LINTELS, ETC THAT ARE IMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH BCA PART 3.4.4

SUB FLOOR VENTS ARE TO PROVIDE A RATE OF 7500mm SQ CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL WALL AND 2200mm SQ CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS. (LOCATED BELOW BEARER)

PROVIDE CLEARANCE FROM UNDERSIDE OF BEARERS TO FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLEBOARD FLOORING AND 400mm IN A TERMITE DECLARED AREA.

DWELLING ADDITIONS PROVIDE THERMAL INSULATION IN ACCORDANCE WITH THE BCA ENERGY EFFICIENCY REQUIREMENTS

SANITARY COMPARTMENTS:
PROVIDE REMOVABLE HINGES TO DOORS OF SANITARY COMPARTMENTS TO COMPLY WITH BCA 3.8.3.3 AND BE READILY REMOVABLE FROM OUTSIDE UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1200mm B/W CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE NEAREST PART OF THE DOORWAY.

JOINERY ITEMS SHALL INCLUDE:
MANUFACTURED CASEWORK ITEMS, INCLUDING: KITCHEN CABINETS AND CUPBOARDS; BATHROOM CABINETS; ROBES. UNLESS NOTED OTHERWISE: NO EXPOSED GABLES TO JOINERY; ALL EDGES TO BE SQUARE; ALL JOINERY UNITS TO HAVE CARCASS CONSTRUCTED OF 16mm OR 25mm THICK PRE-FINISHED BOARD; ALL LAMINATED JOINERY TO HAVE MATCHING ABS EDGING; ALL TIMBER VENEER JOINERY TO HAVE MATCHING SOLID TIMBER EDGING; ALL DRAWERS TO HAVE HIGH SIDES; ALL ADJUSTABLE SHELVES SHALL BE SUPPORTED ON BRASS FERRULES AND BUSHES - SUPPORTS TO BE AT 50mm CENTRES; ALL HINGED DOORS TO BE HUNG ON FULLY CONCEALED ALL METAL TYPE WIDE ANGLE HINGES; BUILDER TO PROVIDE ADEQUATE NOGGINGS TO SUPPORT ALL BATHROOM ACCESSORIES AND SUSPENDED JOINERY; FINISH TO UNDERSIDE OF OVERHEAD CUPBOARDS TO MATCH JOINERY FRONTS.

PROPRIETARY ITEMS:
IDENTIFICATION OF A PROPRIETARY ITEM DOES NOT NECESSARILY IMPLY EXCLUSIVE PREFERENCE FOR THE ITEM SO IDENTIFIED, BUT INDICATES THE NECESSARY PROPERTIES OF THE ITEM. IF ALTERNATIVES ARE PROPOSED, SUBMIT PROPOSED ALTERNATIVES AND INCLUDE SAMPLES, AVAILABLE TECHNICAL INFORMATION, REASONS FOR PROPOSED SUBSTITUTIONS AND COST.

TILES:
EXPANSION JOINTS, WALLS: 5mm. FLOOR:8mm. FILL BOTH WITH SILICONE RUBBER. GROUT FOR WALL: EPOXY BASED MILDEW RESISTANT. GROUT FOR FLOORS: PREPARED GROUT TO BE ACID RESISTANT. ALL WALL TILES TO HAVE FC SUBSTRATE.

ENERGY EFFICIENCY:
ALL WORKS TO BE IN ACCORDANCE WITH BCA ENVIRONMENTAL GUIDELINES AND APPROVED ENERGY EFFICIENCY REPORT AND ESD CONSULTANT CERTIFICATES IF APPLICABLE.

SMOKE ALARMS:
TO BE IN ACCORDANCE WITH PART 3.7.2 OF THE BCA AND AS 3786 TO BE HARD WIRED TO CONSUMER SUPPLY. SMOKE DETECTORS TO BE OF THE TYPE WITH ALARMS WIRED TOGETHER AND HAVING A BATTERY BACK-UP

FIRE ALARM INSTALLATION:
INSTALL SMOKE DETECTION TO SUIT THE REQUIREMENTS OF AS 1670.7 AND THE BCA. PROVIDE ANY ADDITIONAL DETECTION TO AREAS TO ALLOW FOR COMPLIANCE WITH AS 1670.1 AND THE BCA. BUILDER TO PROVIDE THE ELECTRICAL CONTRACTOR'S INSTALLATION CERTIFICATE.

FIRE SAFETY:
FIRE SAFETY IN ACCORDANCE WITH PART 3.7 OF THE BCA

APPLIANCES & EQUIPMENT:
BUILDER TO CO-ORDINATE ALL APPLIANCE AND EQUIPMENT LOCATIONS ON SITE AND WITH JOINER. INSTALLATION AND FINAL CONNECTION BY THE CONTRACTOR. JOINER TO CONFIRM ALL APPLIANCE AND EQUIPMENT TOLERANCES AND REQUIREMENTS IN JOINERY PRIOR TO FABRICATION.

DOCUMENTATION:
THE CONTRACTOR SHALL CARRY OUT WORKS IN ACCORDANCE WITH THE SIGNED DRAWINGS AND SCHEDULES AND ANYTHING REASONABLE INFERRED, AND WITH THE CONDITIONS OF CONTRACT. THE DRAWINGS AND SPECIFICATIONS/SCHEDULES SHALL BE CONSIDERED COMPLEMENTARY, AND ANY WORK AND/OR MATERIALS ABSENT FROM ONE BUT PRESENT OF IMPLIED IN THE OTHER SHALL BE FURNISHED AS IF THEY WERE PRESENT IN BOTH.

FINAL CERTIFICATE:
TO BE OBTAINED BY BUILDER AT COMPLETION OF WORK. A COPY OF INTERIUM FORMS/ CERTIFICATES FROM EACH COMPLETED TRADE AND CONSULTANT BRING CLAIMED FOR, TO BE SUBMITTED TO CLIENT BEFORE PROGRESS A CLAIM IS SUBMITTED.

JORDI TATE

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DO NOT SCALE OFF DRAWINGS.
BUILDER TO INSPECT SITE AND VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY NEW WORK. DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE CLIENT OR DESIGNER. ANY DIMENSIONS NOT NOMINATED MUST BE REFERRED TO THE CLIENT OR DESIGNER FOR CONFIRMATION. ALL WORK SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.

CLIENT
CASSIE MCDOUGALL

PROJECT ADDRESS
22 TONGARRA DRIVE, OCEAN SHORES, NSW

SCALE

DATE
17/04/2024

SHEET

001

REV.	DATE	ISSUE
C	07/05/2024	BA

SITE DETAILS

LGA BYRON SHIRE COUNCIL
 LOT No. 1770
 PLAN No. DP246054
 ADDRESS 22 TONGARRA DRIVE,
 OCEAN SHORES, NSW 2483
 AREA BY TITLE 975.8m²

EXISTING AREA SCHEDULED:
 EXISTING DWELLING FLOOR AREA: 190.1m²

NEW WORKS AREA SCHEDULED:
 STUDIO FLOOR AREA: 26.02m²
 DECK FLOOR AREA: 12.10m²
 UNDERCROFT SLAB FLOOR AREA: 23.69m²

SITE COVERAGE: FLOOR SPACE AREA: 19.5%
 LANDSCAPE AREA: 80.5%

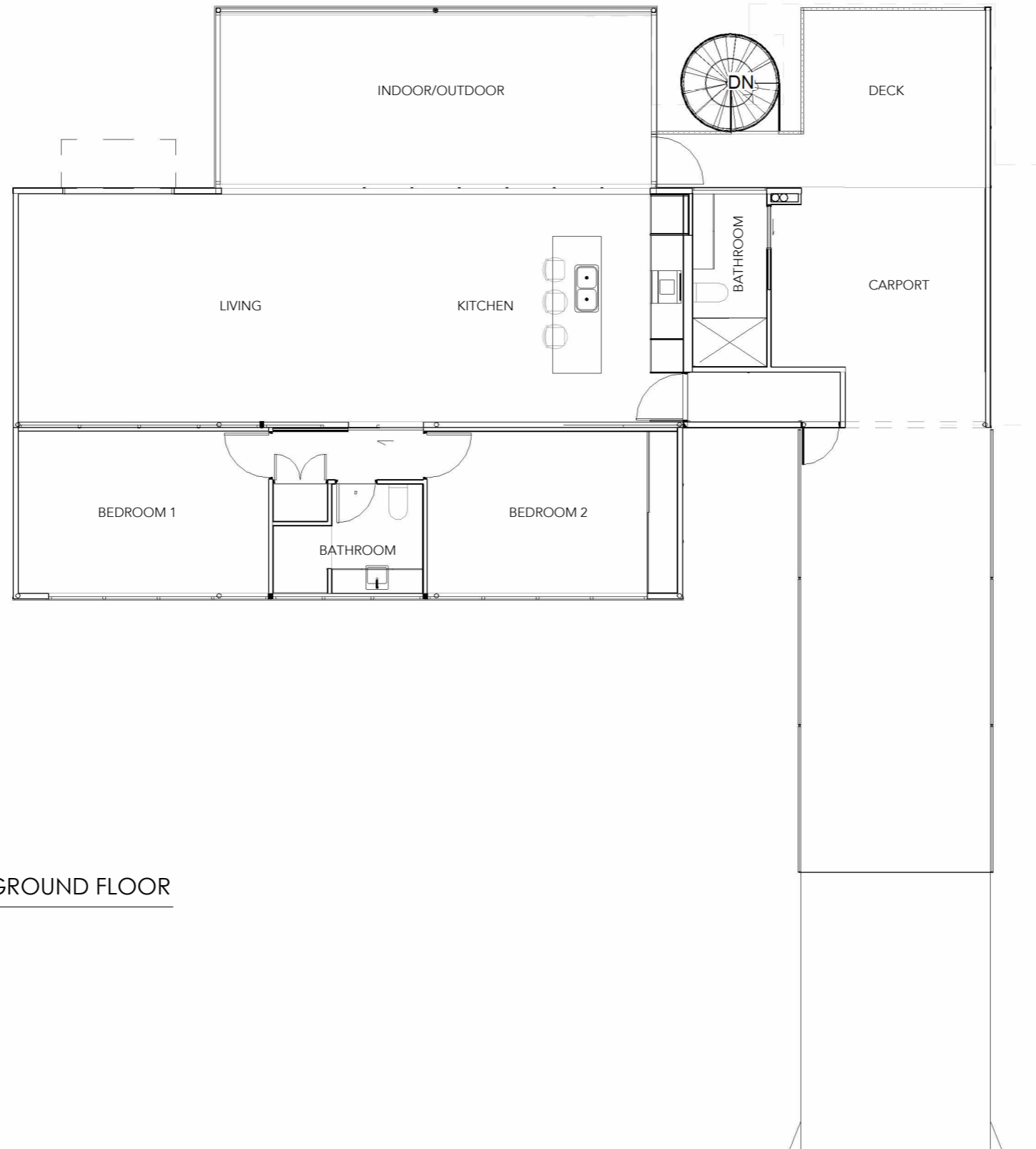
NEW WORKS DASHED (LOWER GROUND FLOOR LEVEL):

- - - INDICATES PROPOSED INTERNAL WORKS
- - - INDICATES PROPOSED EXTERNAL WORKS

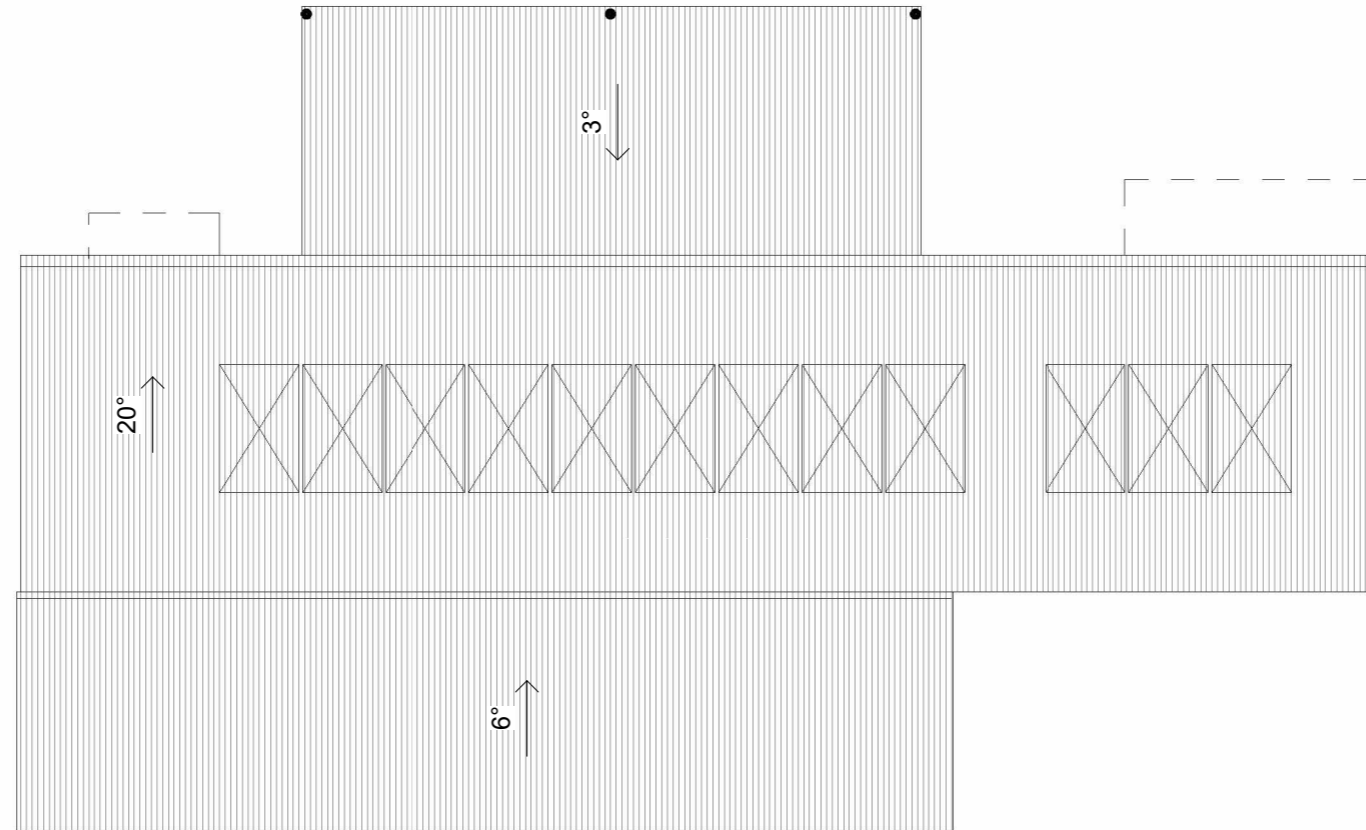


LOCALITY PLAN

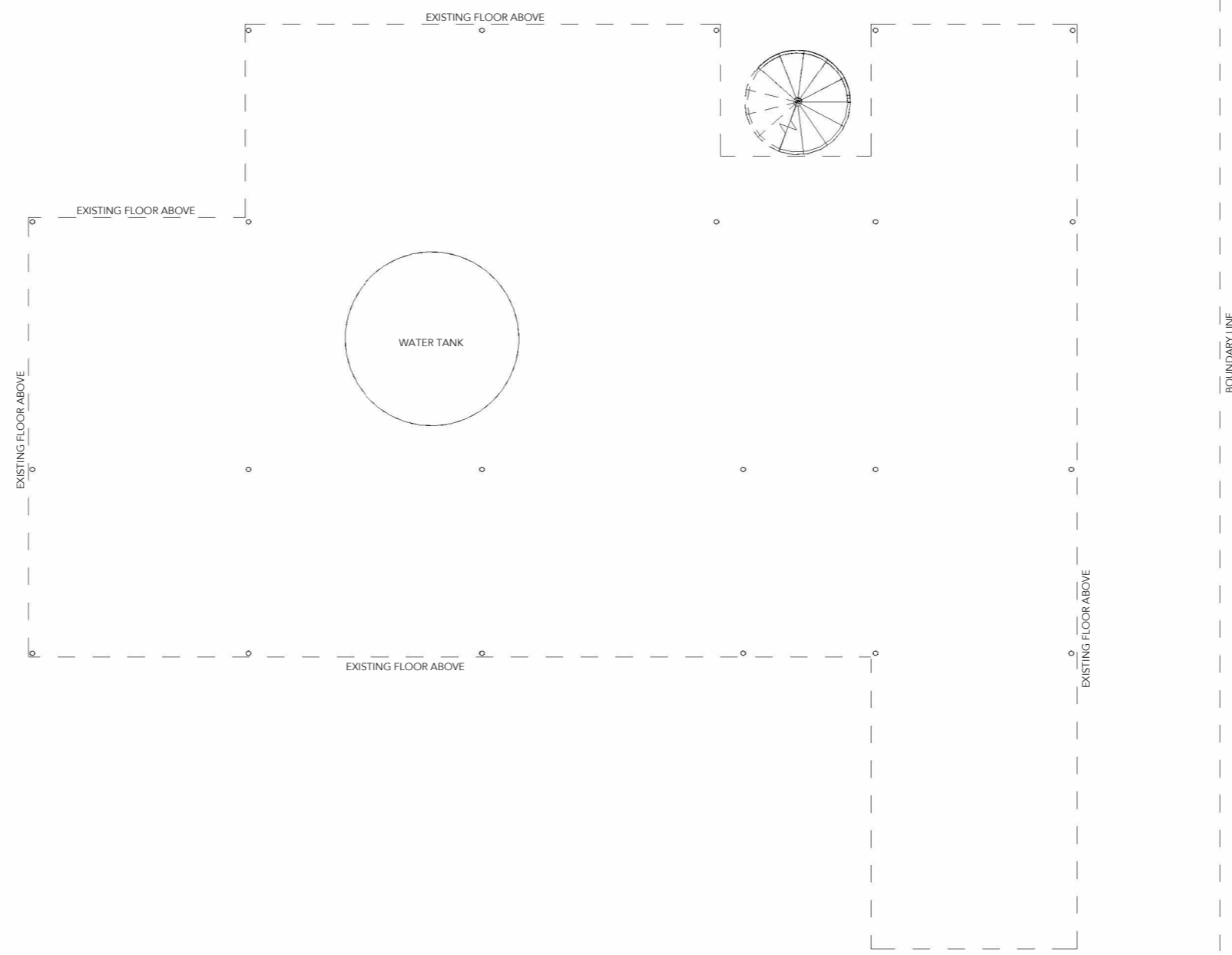
1 SITE PLAN
 002 1 : 200



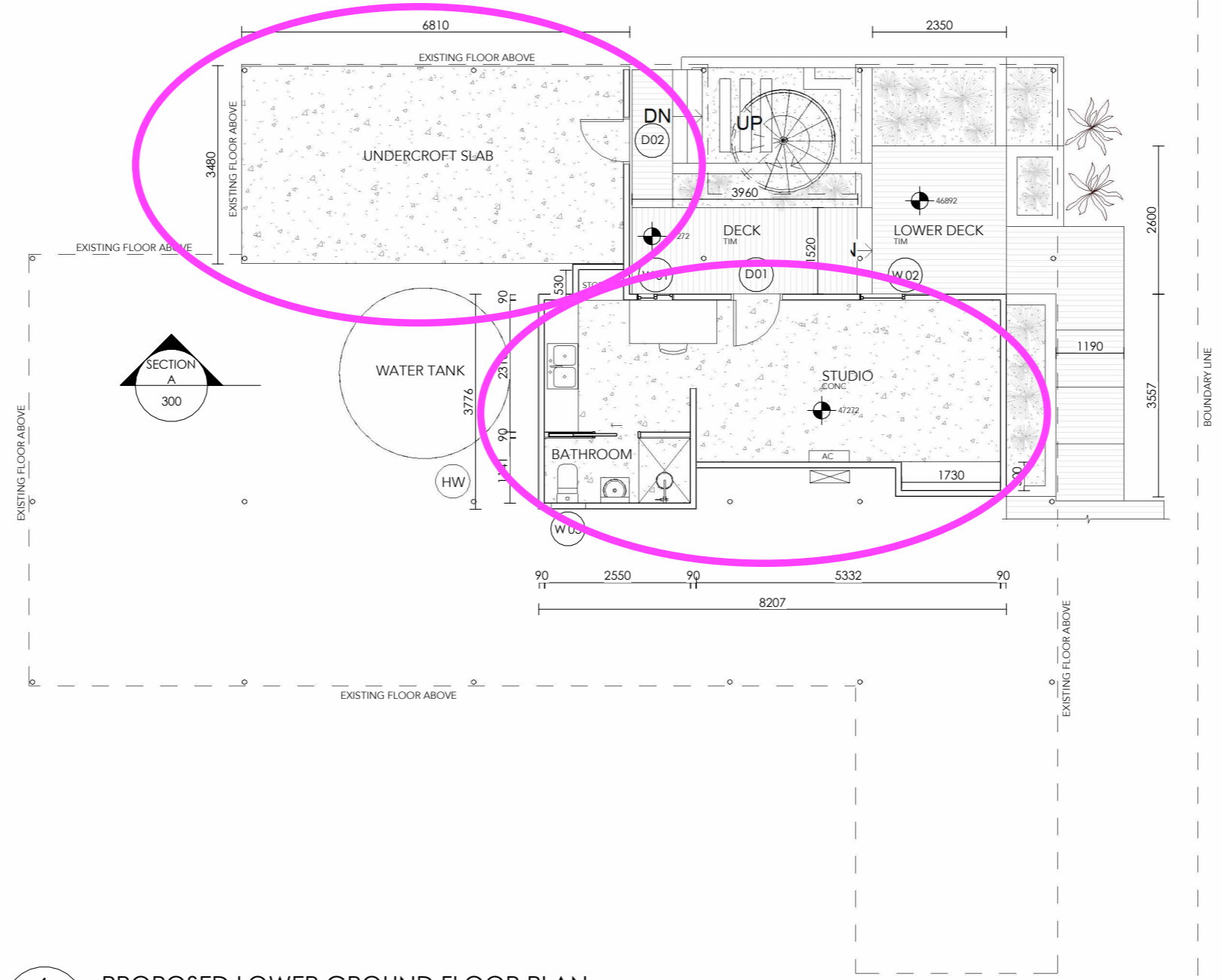
1 EXISTING UPPER GROUND FLOOR
100 1 : 100



1 EXISTING ROOF PLAN
101 1 : 100

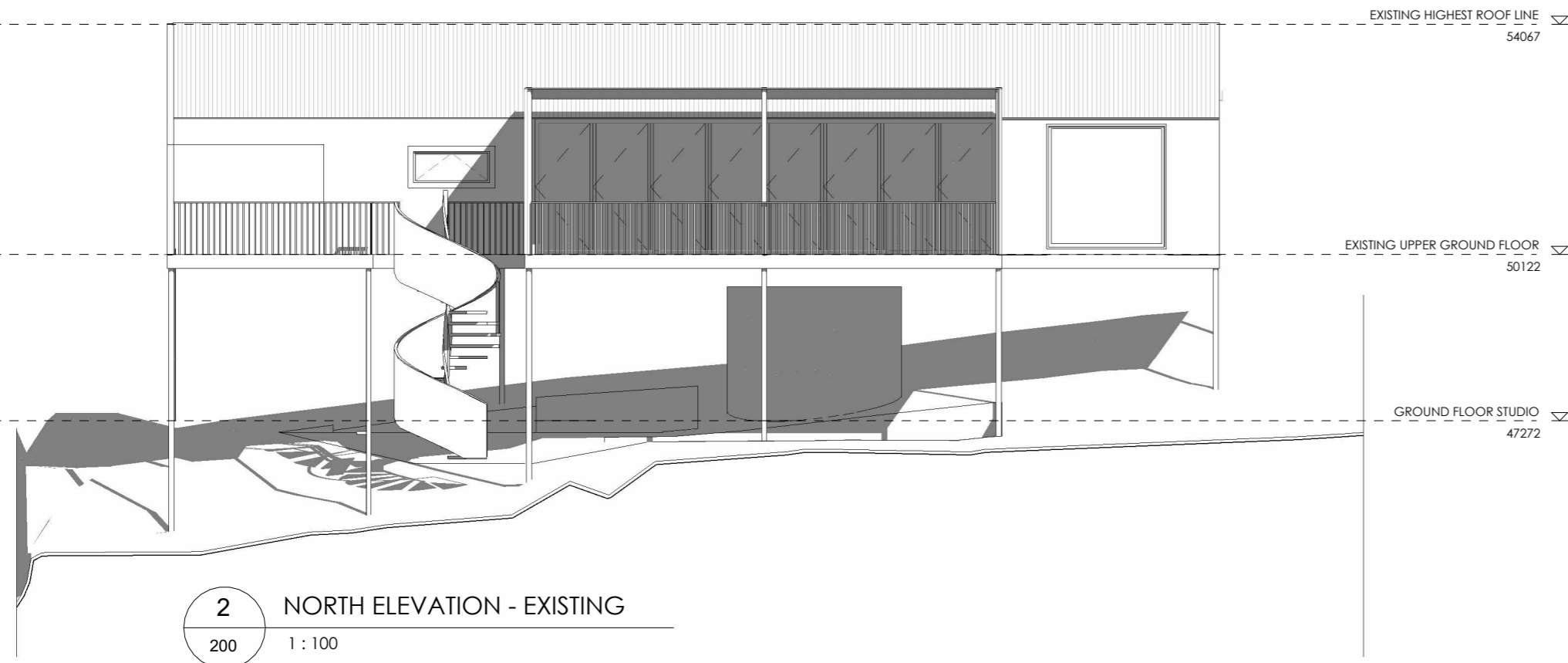


1 EXISTING LOWER GROUND FLOOR PLAN
102 1 : 100

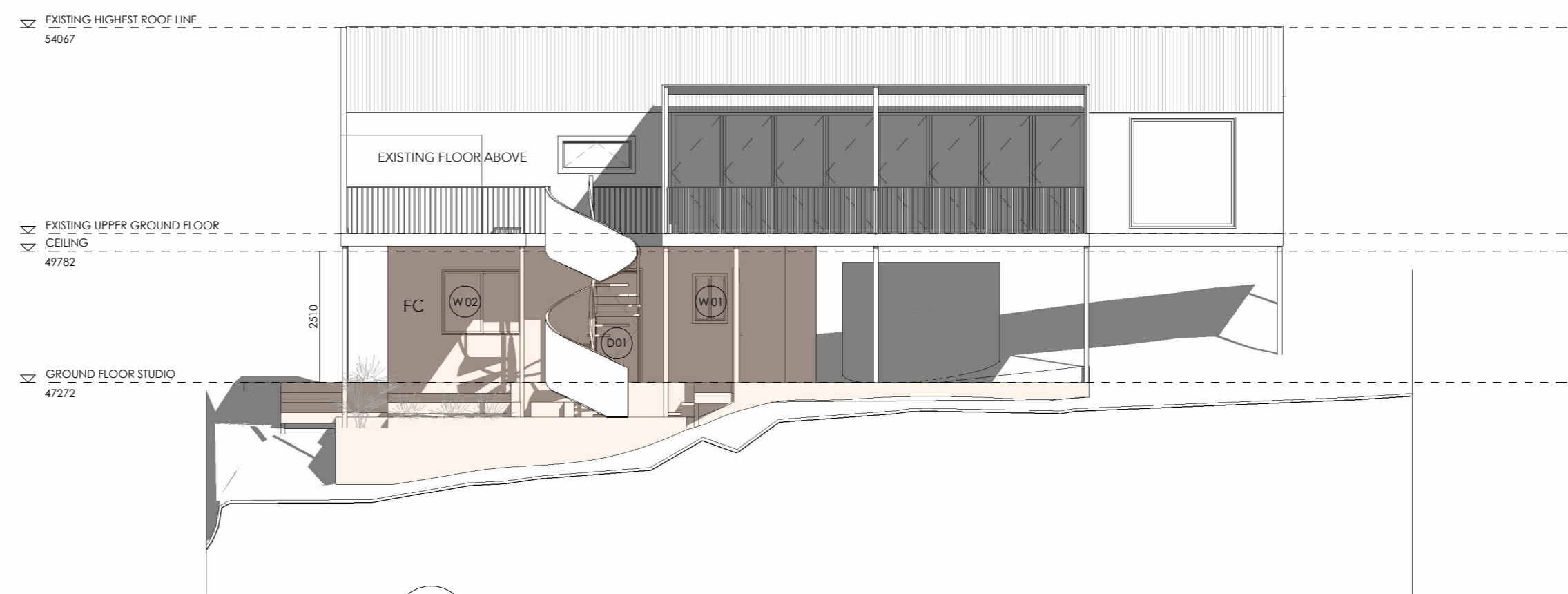


1 PROPOSED LOWER GROUND FLOOR PLAN
103 1:100

LEGEND
 FC FIBRE CEMENT CLADDING
 HATCH INDICATES NEW WORKS

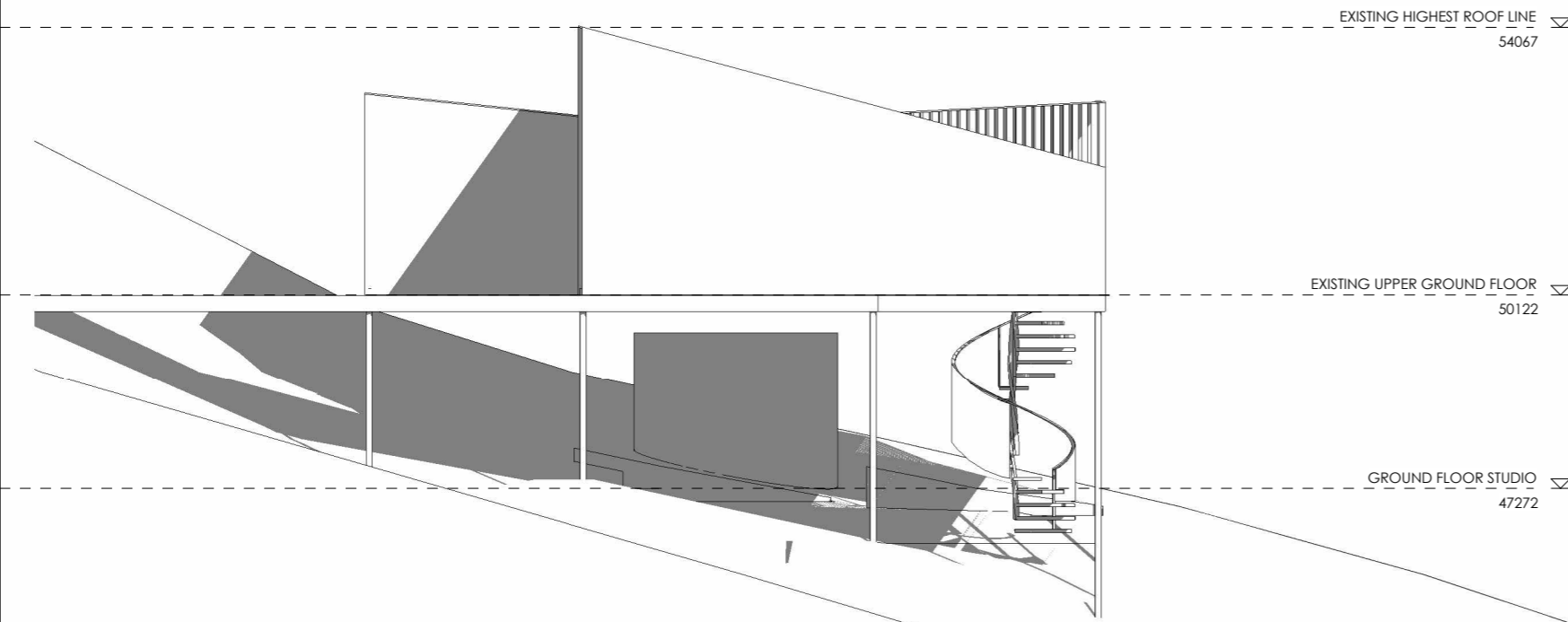


2 NORTH ELEVATION - EXISTING
 1 : 100

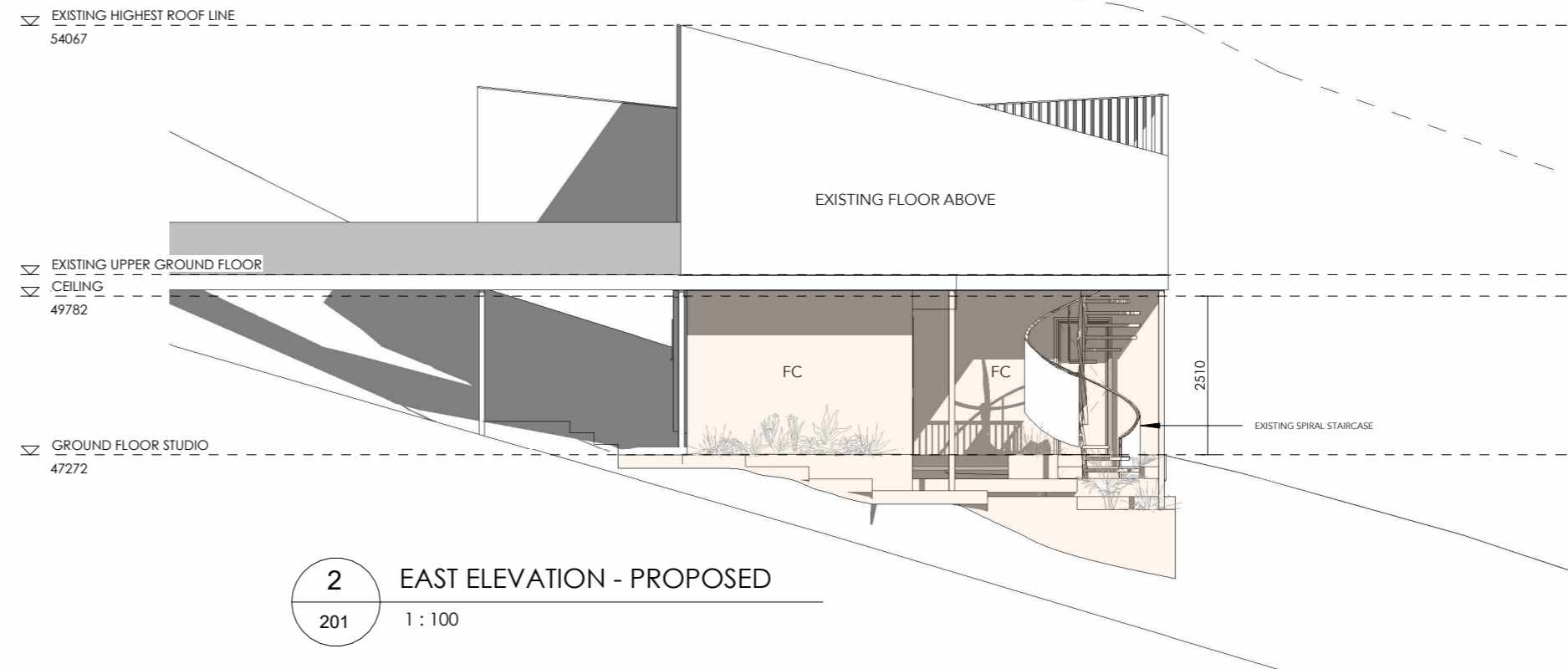


1 NORTH ELEVATION - PROPOSED
 1 : 100

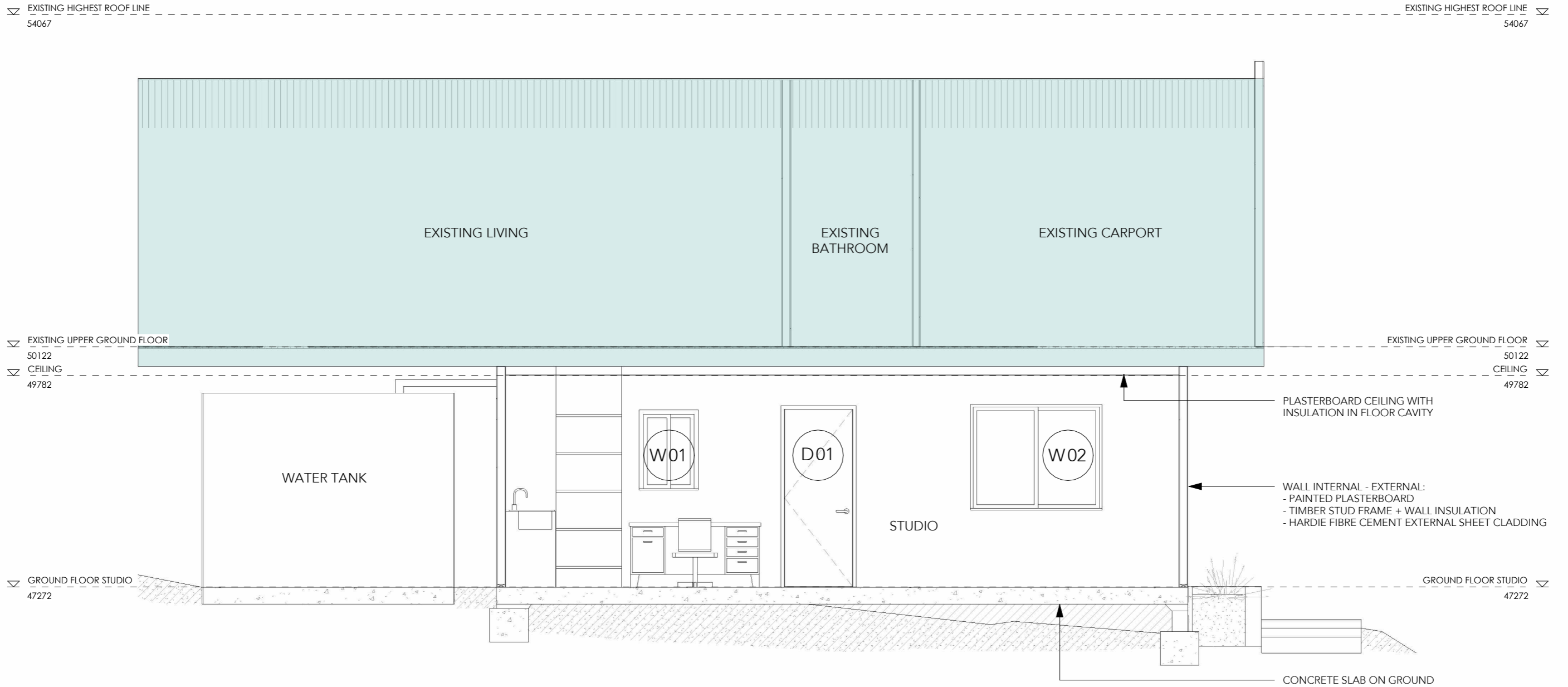
LEGEND
 FC FIBRE CEMENT CLADDING
 HATCH INDICATES NEW WORKS



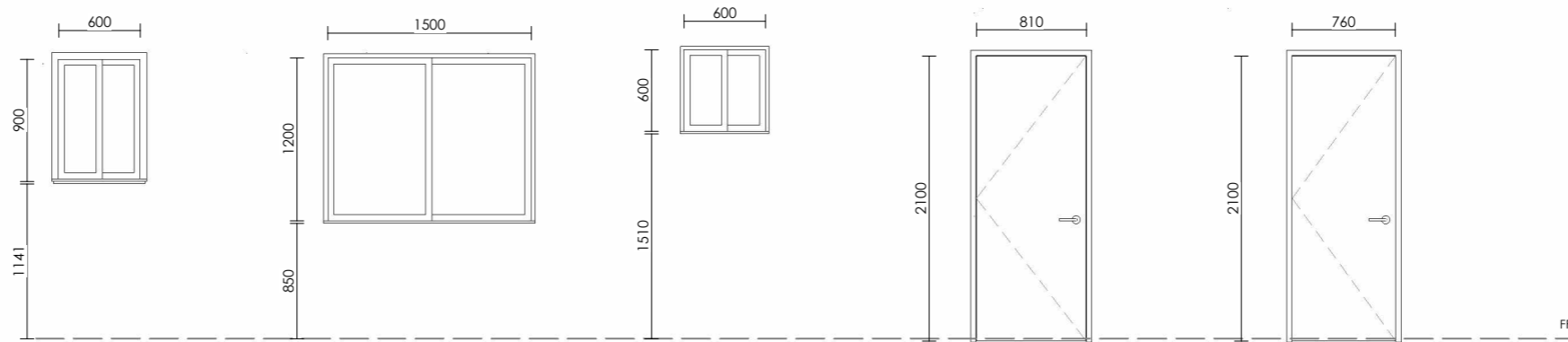
1 EAST ELEVATION EXISTING
 201 1 : 100



2 EAST ELEVATION - PROPOSED
 201 1 : 100



1 SECTION A
300 1 : 50



W01

LOCATION - GROUND FLOOR STUDIO
 PANEL - GLAZING
 FRAME - ALUMINIUM

W02

LOCATION - GROUND FLOOR STUDIO
 PANEL - GLAZING
 FRAME - ALUMINIUM

W03

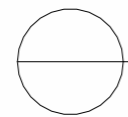
LOCATION - GROUND FLOOR STUDIO
 PANEL - GLAZING
 FRAME - ALUMINIUM

D01

LOCATION - GROUND FLOOR STUDIO
 PANEL: TIMBER
 FRAME - TIMBER

D02

LOCATION - GROUND FLOOR STUDIO
 PANEL: TIMBER
 FRAME - TIMBER



DOOR/WINDOW SCHEDULE

1 : 50